

# Brompton Live in Colour





# Welcome home

Brompton is about living in colour. With seventeen hectares of open space, parks and wetlands, you'll always be inspired. Life at Brompton is grounded in the simple things. Here you can enjoy cooking with fresh local produce and sharing good food, playing with the kids, or socialising with friends at the local park and playgrounds. You can bask in the convenience of our on-site shopping centre, and most importantly, become friends with your neighbours. Brompton has been designed to involve you, our community. Welcome home.





# Make the most of every day

Streamline the day-to-day with easy access to transport and shopping, while also enjoying plenty of ways to escape the daily routine. Brompton is a part of Cranbourne, so the area's best schools, cafés and sports facilities are only a short drive from home. Go from a post-school-run grocery stop to a relaxed afternoon picnic in one of Victoria's best botanic gardens. Living here, you're also placed between coast and city: catch a train into the CBD from a station nearby or head down the highway for a casual beach escape.

- Public Transport
- Parks and Open Spaces
- Education
- Sporting Facilities
- Shopping Centre
- Medical Centre
- Farmers Market
- Wineries, Cafés and Restaurants

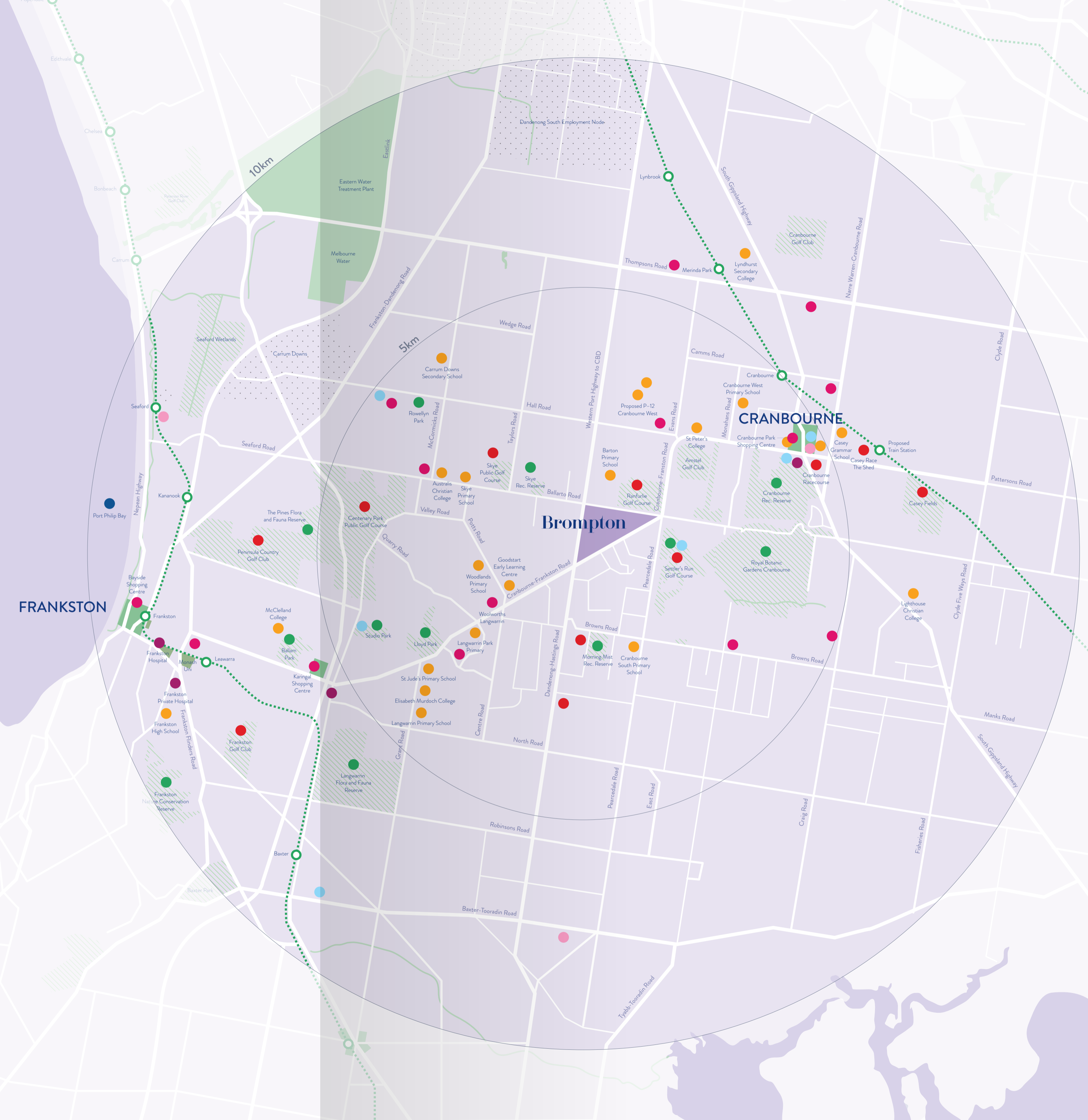
MORNINGTON



FRANKSTON

Brompton

CRANBOURNE





# Masterplan

Brompton is an accredited sustainable community planned and designed around the site's natural features. A model example for walkable neighbourhoods, our town is set among parks and wetlands, with waterways, bike paths and walking trails. These have been carefully considered to connect the shopping and town centre to its surrounds, providing all your daily needs within an easy commute and walking distance for all residents.



- ↙ Melbourne CBD
- ↖ Cranbourne
- Mornington Peninsula
- ↘ Frankston



# Brompton's natural site features make it a place with a real sense of character.

A certified Enviro-Development community

**11**  
Hectares of wetlands and waterways

More than  
**15%**  
of the Brompton site is set aside as open space and wetlands (17 Hectares)

**45**  
Minutes north to Melbourne's CBD



**1400+**  
Dwellings

On-site café located at the sales suite

**10**  
Minutes to Casey Fields

**15**  
Minutes west to Port Philip Bay

**5**  
Local pocket parks within the site

**30**  
Minutes south to the Mornington Peninsula

On-site retail centre with shopping, local services and a supermarket

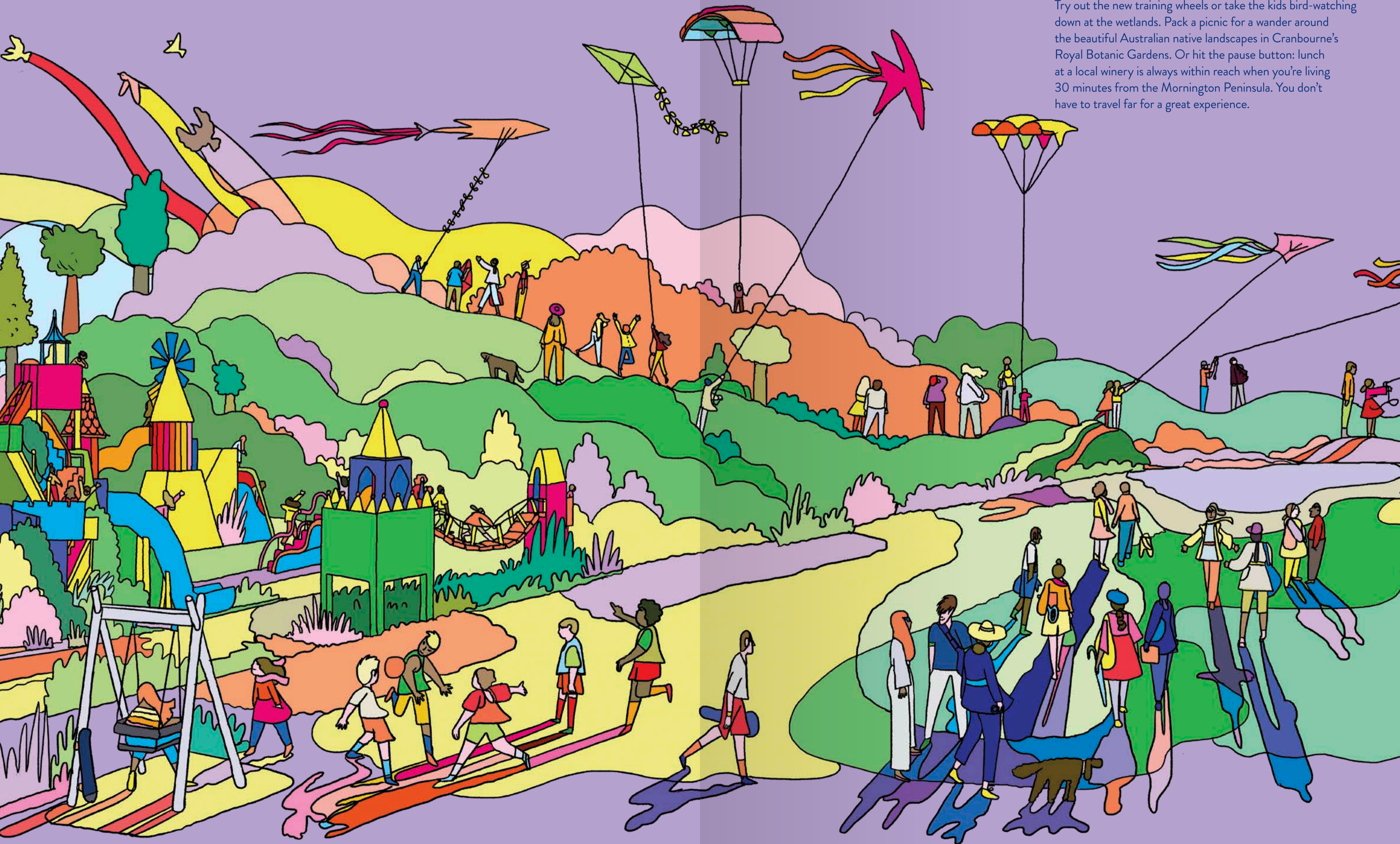
**3500+**  
Residents will call Brompton home

**10+**  
Kilometers of interconnected walking and cycling trails



# Living well

Forget the concrete jungle: more than 15 per cent of Brompton is devoted to open spaces for you to enjoy. Try out the new training wheels or take the kids bird-watching down at the wetlands. Pack a picnic for a wander around the beautiful Australian native landscapes in Cranbourne's Royal Botanic Gardens. Or hit the pause button: lunch at a local winery is always within reach when you're living 30 minutes from the Mornington Peninsula. You don't have to travel far for a great experience.





# Education

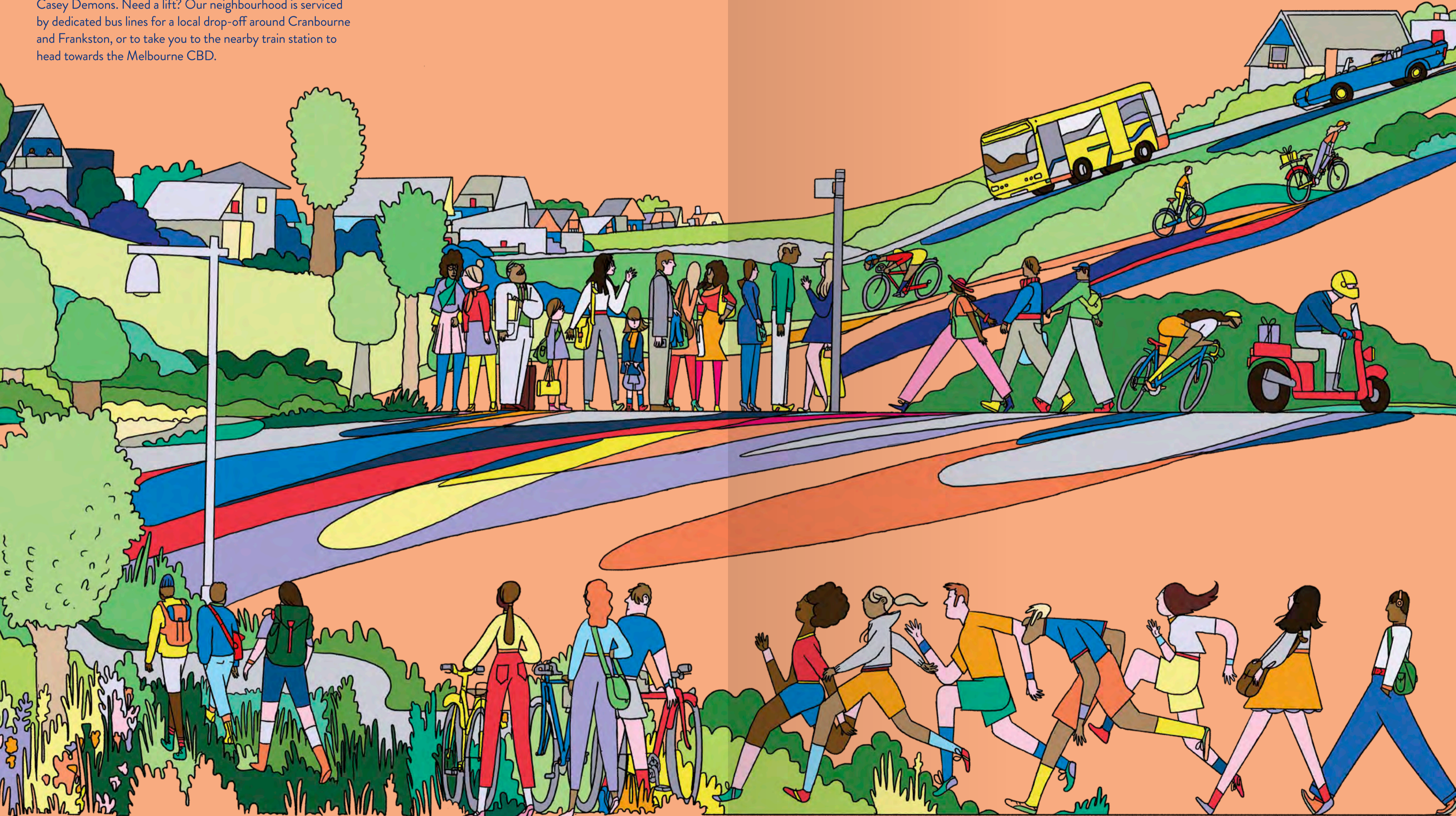
Little ones get tended to at one of many nearby childcare centres. Nurture an early love of reading at libraries in local and surrounding areas. When it's time to start prep, you're surrounded by Cranbourne and Langwarrin's first-rate primary and secondary schools. Wolfdene gets involved too, from supporting the learn-to-swim program at local schools to sponsoring the "Human-Powered Vehicle" racing team, and introducing students to yoga.





# Going places

Our community enjoys direct connections to local medical centres, community services and sporting amenities, all accessible by bus or bike. Not far afield you can get competitive playing golf, football, cricket, rugby, tennis or netball at Casey Fields. And if being a spectator is more your thing, cheer on the rising footy stars—the complex is also home to the VFL's Casey Demons. Need a lift? Our neighbourhood is serviced by dedicated bus lines for a local drop-off around Cranbourne and Frankston, or to take you to the nearby train station to head towards the Melbourne CBD.





# Eat and shop

Tick off the daily demands with minimal fuss, even when you're short on time. The supermarket at Brompton's shopping centre will take the pressure off the usual weekly shopping missions, whether it's a full pantry restock or late-night ice cream craving. This convenience extends to transport: buses and highways provide easy access to local shops and schools, Westfield Fountain Gate, through to Dandenong, Berwick and Frankston. The local and surrounding area also offers plenty of brunch spots, for when you're looking to steal a quiet moment, or catch up with family and friends while the kids are at school.





# Sustainable living



It's easy to see why Brompton has been awarded all six leaves for EnviroDevelopment certification: Ecosystems, Waste, Energy, Materials, Water and Community. With over 15% of the site set aside for wetlands, waterways and parks, Brompton will provide over 1,500 homes, including affordable medium-density options. Interconnected with green walkways and cycling paths and serviced by a high-frequency bus line that runs through Cranbourne and Frankston, Brompton also features a state-of-the-art community park and future town centre to provide all the day-to-day necessities within easy reach. Our Brompton community will be presented with options to reduce their water and energy consumption through the Brompton Design Handbook, and all homes will utilise recycled water to reduce water consumption.



# Enviro-Development leaves

## Waste

This considers demolition or land clearing phases as well as construction and post-construction phases.

## Ecosystems

This includes consideration of aquatic ecosystems, landform, flora and fauna.

## Energy

This considers reduction of greenhouse gases through energy efficient appliances and fixtures, passive design and behaviour change.

## Water

This considers reduction in potable water use through water efficiency mechanisms and source substitution, as well as end user education initiatives.

## Community

This includes consideration of community consultation; ongoing community governance and engagement; transport; place making; community prosperity; local facilities; safety and accessibility; and indoor environment quality.

## Materials

This considers the use of recycled, reused, renewable, non-toxic and locally sourced materials, and materials with low life cycle energy.





Artist's impression of masterplan.





Artist's impression of main park and wetlands.





Artist's impression of wetlands.





Artist's impression of wetlands.



# Designed with flexibility in mind...

Brompton has been designed with flexibility and choice in mind; whether you're a 'down-sizer' looking for a low maintenance lifestyle, a young couple looking for a single storey home to start a family in, or a large family needing the extra room a large double storey home can offer.

To support you through the building process, we have developed a set of Design Guidelines that provide a framework for individuality and contemporary design, while protecting your investment by ensuring everyone at Brompton contributes positively to the character of its streets and neighbourhoods.





# This is us



At Wolfdene, our projects speak for themselves. Because every development is different, we bring each project to life with its own unique personality and style. Brompton is our landmark project and we're driven to deliver this high-quality development on time and meet every target along the way. We see all our projects through from start to finish, managing each development completely in-house.

Building a home is an exciting new beginning for your whole family. We feel the same way, so that's why we create places where you'll lead the kind of lifestyle you've always wanted.

[Wolfdene.com.au](http://Wolfdene.com.au)



East Park



Brompton Sales Suite





**Little Wolf**

# On-site café

Little Wolf is the perfect spot for a leisurely breakfast or a quick lunch break. With a delicious menu that changes seasonally, why not drop in for a chat with our friendly team, and mingle with your neighbours over a freshly-ground single-origin blend? Located at Encore Boulevard, Brompton.

[LittleWolfCafe.com.au](http://LittleWolfCafe.com.au)





# Wolfdene Community



We strive to positively engage with our communities through our Wolfdene Community program. Wolfdene works with local council, schools and not-for-profit organisations to address a range of key social issues within the community.

We believe sporting organisations play an essential role in a happy and healthy community. The sense of belonging that comes with being a member of a club, along with the engagement and encouragement it provides for people of all ages—whether participating, helping or just supporting—is so powerful.

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